



Hiddenbrooke

Landscape Guidelines

Chapter 5

L-1 General Landscape Guidelines

The overall design concept at *Hiddenbrooke* is to complement the natural beauty and awaken an appreciation of the secluded valley by all residents and visitors. *Hiddenbrooke* shall maintain a total community theme by blending natural and man-made elements into a cohesive design reflecting its rural character. The site offers a secluded valley environment of open grassland with widely dispersed groves of oak, bay, and eucalyptus trees. Each homebuilder shall further intensify this community theme, in particular, neighborhood areas so that each shall have its own identity within the larger setting. Finally, the consummation of the total community concept lies with the homeowner. The following requirements have been established to produce the desired aesthetic results while maintaining a distinct identity for each individual residence.

Two major design themes are prominent in the development of *Hiddenbrooke*. The first of which is to mirror and complement the natural features of the site. The homebuilder and homeowner play a vital role in conveying the aesthetic potential of the community. Architectural and hardscape elements have specific guidelines for types of materials and finishes that have been defined to complement the natural environment and to promote characteristics that are representative of the community, *Hiddenbrooke*. Secondly, plant material used in the common area and the home landscape shall conform to certain standards which enhance the individual lots' ability to blend in with the total neighborhood environment.

To ensure that the overall beauty of the community is preserved and enhanced, the CC&Rs have established the Hiddenbrooke Architectural Review Committee (HARC) with the authority to approve or disapprove landscape plans submitted by the homebuilder or homeowner for neighborhood entries, production slopes, common areas, and front and rear yards.

The following text outlines the landscape design principles to be followed by each homebuilder and homeowner to ensure that regardless of individual appearance or preference, all of the homes will complement each other and fit into the total design framework at *Hiddenbrooke*. Existing Vegetation and Natural Features

The predominant natural features of *Hiddenbrooke* are the rolling grassland hills with clusters of oak and bay trees. In some cases, common areas and homesites may contain existing trees and every

effort should be taken to preserve them. In those cases, the following conditions apply to the homebuilder or homeowner.

1. No naturally existing trees or shrubs may be removed without the written consent of the HARC *and* the City of Vallejo Planning Division. It is the responsibility of the homebuilder or homeowner to obtain a permit from the City of Vallejo if tree removal is necessary.
2. Trees to be preserved shall be permanently identified by a metal numbered tag and a temporary fence shall be erected at the drip line of an existing tree during construction if it is located close to any building construction or lot grading. Tree masses can be protected with a fence surrounding the entire tree mass.

Trees to be removed shall have a permanent marking either with spray paint or a survey flag and shall not be protected with fences.

3. Existing oak and bay tree groves in open space areas shall be protected and maintained by the following methods.
 - a. Existing grades shall not be altered.
 - b. Alteration of existing tree groves shall be avoided where feasible, especially when they provide nesting for raptors.
 - c. Unhealthy trees, as determined by an arborist (licensed by the State of California), shall be removed and replaced with saplings of appropriate species.
4. Oak trees are particularly sensitive to development. The following activities shall not be allowed within the dripline of any existing oak trees:
 - a. Trenching, grade cutting, filling, soil compaction, or rototilling unless approved by a licensed arborist.
 - b. Landscaping with plant materials that require spray irrigation. Drip irrigation may be permitted.
 - c. Paving with materials of limited permeability. The use of porous materials such as brick over sand may be allowed to allow sufficient water penetration and gas exchange.
 - d. Newly constructed barriers (concrete foundations, swimming pools, garden walls) can act as dams that trap water and cause root or crown rot. Should such a barrier be proposed, the landscape plan shall provide for the necessary drainage mitigation to ensure the continued health of the existing tree.
 - e. For remedial procedures proposed by an arborist, some limited infilling may be allowed. Boring or hand digging (in lieu of trenching) may limit damage to tree roots if a pipe or electrical line must be installed.

Other natural features which exist on the site consist of bedrock outcroppings.

L-2 Views and Screening

The master plan developed for *Hiddenbrooke* responds to the natural beauty of the area. Most lots have been situated to optimize the view potential of each homesite. Each homebuilder and homeowner is responsible for creating a dramatic foreground accentuating the immediate as well as distant views, preserving view corridors, and considering views of neighbors and the community when planting. Trees and shrubs should be selected to fit specific situations, keeping in mind the eventual size in relation to the architecture and spatial characteristics of the total landscape scheme.

When the screening of undesirable views is necessary, the same principles shall be employed, always keeping in mind the long-term effect on the total community. Planting shall be massed and combined with gentle mounding to enhance the aesthetic qualities as opposed to creating a "wall" of plant material.

Walls and fences that occur on private property shall be softened by the use of shrubs and vines. However, plant material and architectural elements shall be compatible with one another. Consulting a landscape architect is recommended to ensure the continuity of the character of *Hiddenbrooke*.

L-3 Neighborhood Entry Monumentation

Entry monumentation may be desired by a merchant homebuilder to provide identification of their neighborhood within the community.

Although it is important that key elements from the community entry be repeated in the form of materials and finishes, each merchant homebuilder within the parameters of the guidelines will be allowed the opportunity to determine the style of their neighborhood entry.

All designs must be submitted and approved by the HARC prior to construction per the CC&Rs.

A. Monumentation Types

Two types of neighborhood monumentation may be allowed within the community of *Hiddenbrooke*: one is an identification pilaster and the other a sign wall. They can be used either singularly, in pairs, or any combination of pilasters and walls.

1. A simple pilaster may be used to announce entry into a neighborhood. The size of the pilaster shall not exceed five feet six inches (5'6") in height with a width of relative

proportion. An ornamental plaque may be placed on the pilaster with the neighborhood name and logo.

2. Where space allows, a sign wall may be placed at the entry to a neighborhood. The size of the wall shall not exceed three feet six inches (3'6") in height with decorative pilaster terminating the wall four feet (4') in maximum height. An ornamental plaque may be placed on the wall with the name and logo. The height of the letters shall not exceed ten inches (10") in height.
3. All entry monumentation shall be placed outside of the Landscape Maintenance Easement and shall conform to the City of Vallejo guidelines for maintaining site distance clearance at intersections.

B. Community Theme Wall and Pilaster

To retain the open feeling of *Hiddenbrooke* long views of solid walls are discouraged. However, if a merchant homebuilder requires a highly visible solid wall for privacy or screening within a neighborhood, they may be allowed but must be compatible with existing community elements. Therefore, a community theme wall and pilaster have been established. In no instance may the wall exceed a height of six feet (6').

C. Materials

Materials for entry monumentation community theme wall pilasters shall reflect those used at the community entry at Hiddenbrooke Parkway. Stone shall be incorporated into identification pilasters and decorative pilasters that terminate the ends of a sign wall or community theme wall. The size and type of stone shall be identical to that used at the community entry.

Stucco shall be incorporated into the sign wall and community theme wall with flexibility in the choice of color and texture. It is recommended that community walls be treated with an anti-graffiti sealant. Colors reflecting the architecture and local environment such as earth tones are desirable. Allowing a diversity of colors for each neighborhood will provide visual interest and uniqueness while unifying the architecture and entries with their settings. An architectural concrete cap shall be placed on top of the wall.

L-4 Walls and Fences

L -5a. Types of Walls and Fences

The site elements designated for *Hiddenbrooke* complement the natural rolling terrain.

Elements such as walls and fences play a vital role in promoting harmony and continuity of the home within the development. Due to the high visibility of walls and fences, their location and design have a direct effect on the overall appearance of the site. Without exception, it is essential that the patterns and textures chosen complement the surrounding architecture.

The homebuilder and homeowner are responsible for three (3) general types of fences within the confines of a lot: Rear Yard View and Golf Course Fencing; Side Yard Fencing; and Non-Perimeter Yard Walls and Fences.

All walls and fences shall comply with these Design Guidelines and shall be subject to the HARC approval. All walls and fences approved by the HARC and constructed by a homeowner or homebuilder shall also comply with the regulations and ordinances of the City of Vallejo, including, but not limited to, any applicable restrictions with respect to the height of front yard fencing.

A. Materials for Walls and Fences

All finish materials for walls and fences must be submitted and approved by the HARC prior to construction.

Recommended Wall and Fence Materials:

1. Walls finished with cement plaster, trowel-applied synthetic plaster, stone or brick masonry, cast concrete, shaped plaster, and tile.
2. Fencing and ornamental iron painted in muted blended colors.
3. Dimensional lumber siding for fencing.

Painting or staining is subject to the HARC approval.

Prohibited Wall and Fence Materials:

False fiberboard, metal siding, chain link, vinyl siding, unfinished wood, exposed plain concrete block.

B. Rear Yard View and Golf Course Fencing

View fences are recommended where lots open onto the golf course or open space.

The height of this fence type shall be a minimum of eighteen inches (18") or the

minimum height required per code to restrict access to a pool or spa. Such fences or walls shall terminate in masonry pilasters that conform to the project standard pilaster.

The construction of the rear yard view and golf course fencing shall be in accordance with the following criteria.

Lots, where rear or side yards face onto the golf course or open space and are highly visible, shall utilize the following fence types:

1. A low stone wall between eighteen and thirty inches (18" – 30") in maximum height
2. An ornamental iron fence on a low stone wall, total of six feet (6') in maximum height
3. An ornamental iron fence between two feet six inches (2'6") and six feet (6') in maximum height.

Lots, where rear yards do not face onto the golf course or are not visible from public view with the rear property line at top of slope shall utilize the following fence types in addition to those listed above:

1. Three-foot (3') wood and three-foot (3') wire screen view fence.

C. Side Yard Fencing

Side yard fencing shall be constructed of wood, stone, plaster, concrete, or a combination of those materials listed. The homebuilder or homeowner, with the approval of the HARC, may choose the particular side yard fence design; however, it shall complement the architecture of the homes and fit into the overall design guidelines. "Naturally weathering" wood fences are allowed in these areas.

Staining or painting of wood fences is subject to the HARC approval.

Wood fencing shall not be used on high-exposure lots where a side yard fence is adjacent to a street, or any other public view. In these instances, the community theme wall, fence "B", or fence "C" would be more appropriate (see pages 10–11).

Upon mutual written consent, two adjoining neighbors may substitute the following fence types for side yard fencing (up to a maximum distance of fifteen feet (15') from the rear fence): fence "C" if the rear fence is "C" and fence "D" if the rear fence is "D"

D. Non-Perimeter Yard Walls and Fences

Non-perimeter yard walls and fences are integral part of the architecture as well as the surrounding landscape elements. Should the end of a fence or wall be publicly visible the end shall "return" to expose a minimum eighteen inch (18") dimension or a minimum twelve inch (12") square pilaster. Hedges, in place of solid fences, are recommended.

1. Non-perimeter yard walls and fencing shall be six feet (6') maximum height.
2. Pool enclosure fencing or wall shall be four feet (4') minimum height or the current City of Vallejo requirements at the time of installation. Six feet (6') is recommended.
3. Fences shall have a lattice top as shown.
4. Detached front yard walls within the building set back shall be three foot (3') maximum height.
5. Attached front yard walls shall be six foot (6') maximum height. These walls should be constructed such tht they follow the design of the home.
6. Tall poles and netting to screen homes from errant golf balls are prohibited.

E. Retaining Walls

Retaining walls are an integral part of the surrounding landscape elements. Retaining walls shall be a maximum height of three feet(3') setback a minimum of three feet (3') from the property line. **Retaining walls constructed of wood are prohibited.** Retaining walls shall be planted at the base and top to "settle" them into the landscape.

L -5b. Fence Repair

Fence, gate and stone pillar repair or replacement is the responsibility of the homeowner and subject to approval by the HARC.

L – 5c. Fence Consistency

Replacement fences and gates shall be consistent with the style of fences and gates that were originally installed in the adjacent neighborhood, and approved by the HARC.

L – 5d. White Picket Fences (Design for The Village Subdivision Only)

All white picket fences shall comply with the Design Guidelines specifically designed for

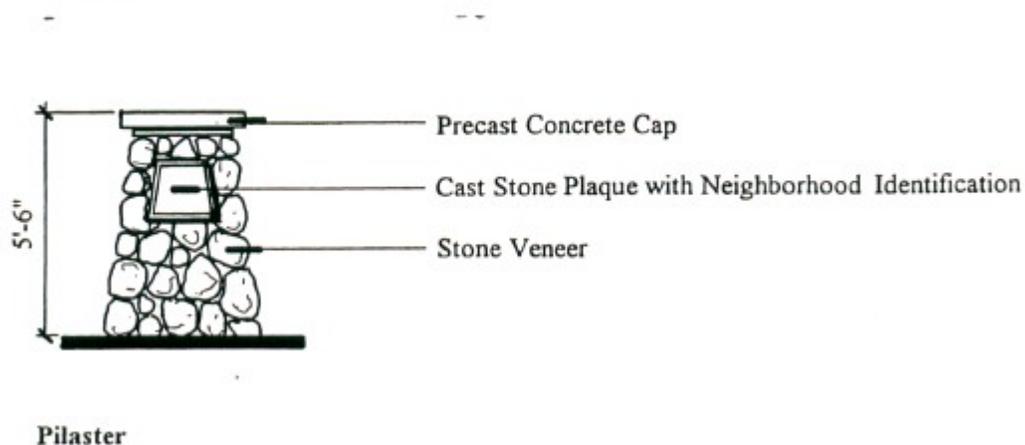
The Village and shall be subject to the approval of the HARC and The Village HOA. All fences, walls, or trellises approved by the HARC and The Village HOA, and constructed by the homeowner or homebuilder shall also comply with the regulations and ordinances of the City of Vallejo, including, but not limited to any applicable restrictions with respect to the height of the front yard fences.

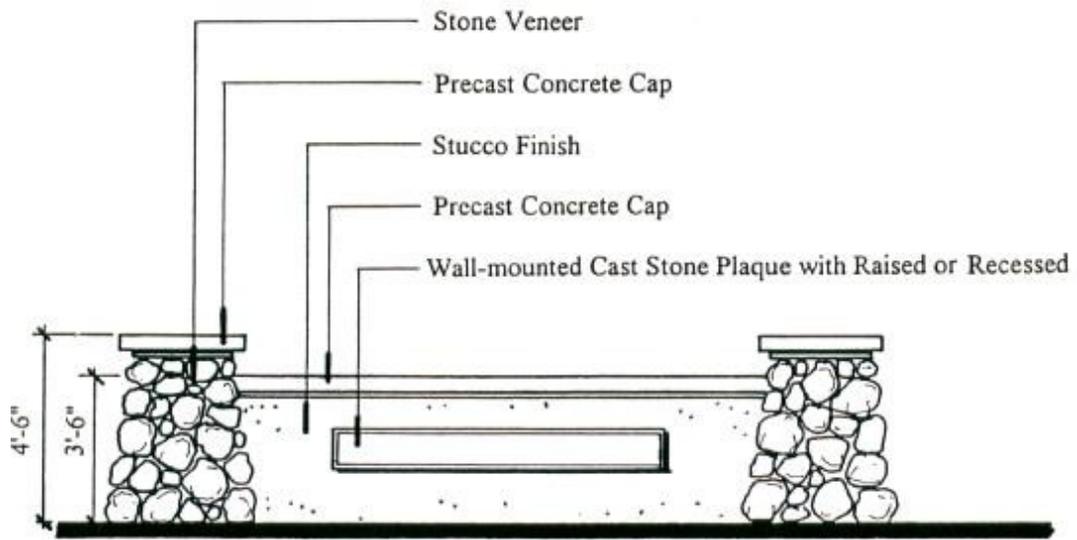
For replacement or newly constructed white picket fences, the following requirements shall be considered:

1. The current design of the fence is a narrow open picket design, made of wood, painted white, and maintained from wear and tear at all times.
2. A replacement consideration is that of a vinyl picket fence of the highest quality with specifications of chosen white picket fencing submitted at the time of application to the HARC and The Village HOA.
3. A change in the design of the white picket fence may be considered by the HARC and The Village HOA.
4. The Village HOA approval shall be obtained prior to submitting the HARC application and attached, in order for the HARC application to be processed.

L-5e. Samples of Monuments and Fences

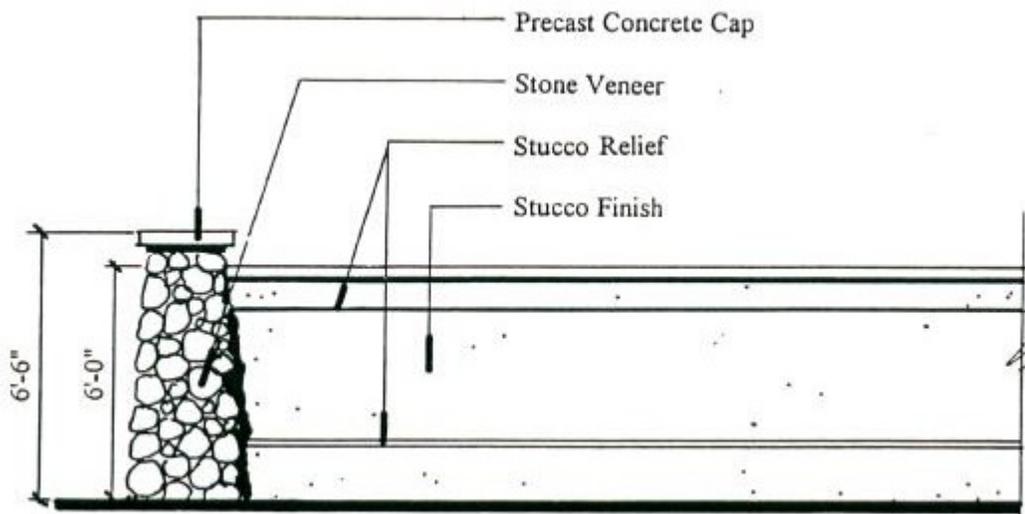
Neighborhood Entry Monumentation





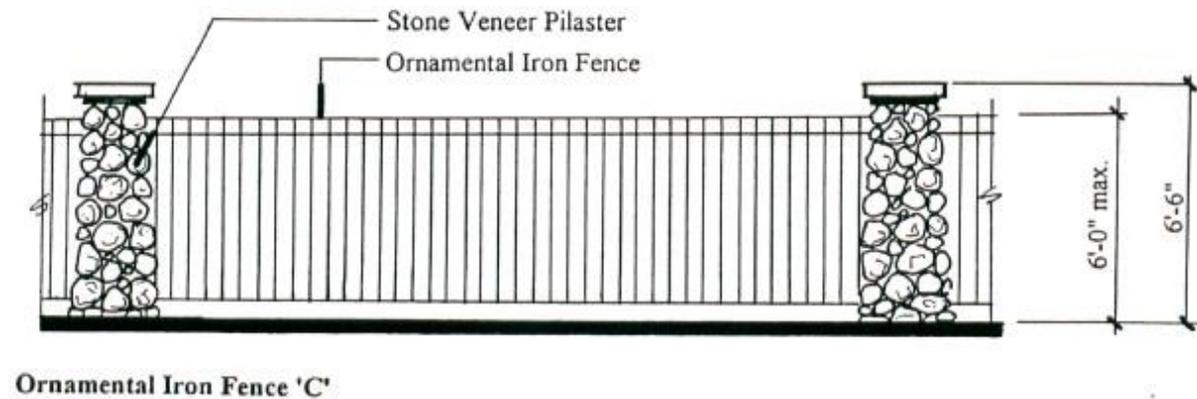
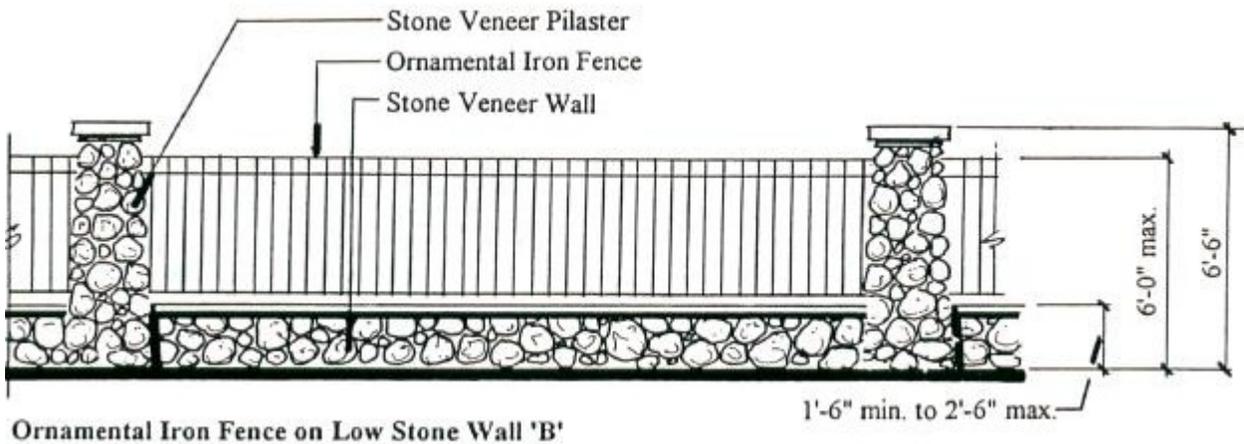
Sign Wall

Community Theme Wall

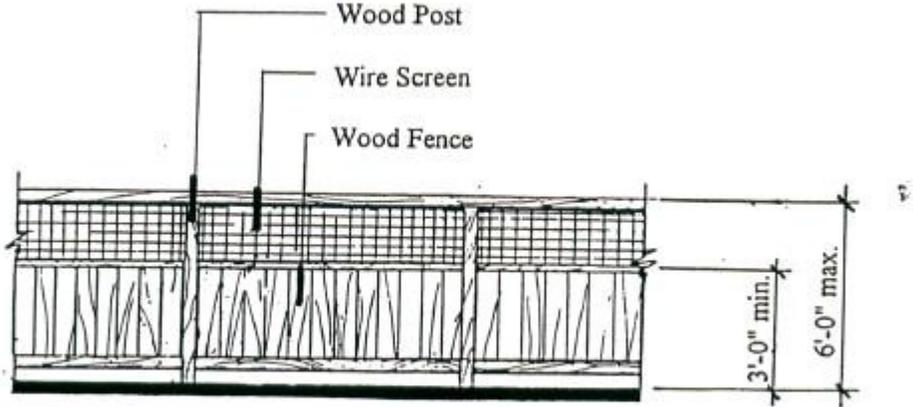


Stucco Wall with Stone Pilaster

Rear Yard View and Golf Course Fencing



Rear Yard View Fencing



3' Wood and 3' Wire Screen View Fence 'D'

Side Yard Fencing



Non-Perimeter Fences Lattice Top



Non-Perimeter Attached Wall (example; Actual must match home design)



L-5 Grading and Drainage

It is the homebuilder's and homeowner's responsibility to avoid altering grades in such a way that would affect the overall drainage pattern of each individual lot. It is recommended that grading is used to create private gardens that are pleasing. Mounding and earth beams are recommended if they accommodate prescribed lot drainage. Grading plans indicating drainage shall be submitted to the HARC with the landscape package and to the City of Vallejo for review and approval. All grading plans that change drainage patterns shall be

prepared by a landscape architect, soil engineer, or civil engineer to ensure proper design.

1. Positive drainage shall be maintained away from all surrounding property lines and on-site buildings.
2. Surface drainage swales within lots shall be designed such that no silt or erosion is allowed to flow over public sidewalks. Where possible, create drainage swales to use the natural surface runoff for plant irrigation.
3. Retaining walls over eighteen inches (18") in height shall be of masonry or poured-in-place concrete construction. Walls over three feet (3') shall not be installed without structural calculations by a structural engineer.
4. Retaining walls shall be set back three feet (3') from the property line. All retaining wall locations, heights, and finishes require the approval of the HARC and the City of Vallejo.

Consultation with a landscape architect, soil engineer, or civil engineer is recommended.

L-7 Planting

The goal of the planting concept for *Hiddenbrooke* is to preserve the spatial sense of the valley while conveying a sense of privacy and seclusion. This has been accomplished by preserving the grassland hillsides and ridges and reintroducing oaks while developing a mantle of irrigated and drought-resistant landscape on the lower hillside and valley.

The rural character of the entry road into the community is reflected in an open oak woodland landscape. Widely dispersed groves of native California Live Oak and groves of mature, fruitless olive trees act as theme trees simulating a previous agricultural settlement while enhancing the overall landscape. Massed plantings of native understory shrubs such as *Ceanothus* and wildflowers planted throughout the community reinforce the rural character. It is this character that should be maintained and enhanced throughout the community by the homebuilder and homeowner.

Drought-resistant landscaping required by the City of Vallejo shall be used within the front yards of all single-family detached and attached units and in the overall landscaping plans for multi-family units. Homeowners may be allowed to incorporate more ornamental plants as specialized features within their gardens, although drought-resistant and fire-resistant landscaping are strongly recommended. Refer to Chapter 6 for a listing of recommended plants for neighborhood entries, production slopes and common areas, and front and rear yards.

A. Landscape Plan Submittals and Required Installation Time

Landscape plans shall be submitted by the homebuilder or homeowner to the HARC for approval prior to the commencement of home construction. Upon approval by the HARC, homebuilders or homeowners will also be required to submit landscape plans for neighborhood entries, production slopes, and common areas to the City of Vallejo for approval. Certain lots contain slopes that are subject to further design criteria by the City of Vallejo. See the Definition of Steep Slopes section for a listing of those lots.

The homebuilder or homeowner is responsible for submitting plans drawn to scale that include all information that will help justify the landscape desired. Refer to Chapter 7 "Submittal and Approval Process" for additional information.

A landscape architect can recommend additional plant material species or hardscape treatments. No bare ground, except for naturally occurring areas on natural or ungraded lots is allowed as part of a landscape design submission.

Installation of fencing and landscape for neighborhood entries, production slopes and common areas, and front yards shall be completed prior to the conveyance of a lot or issuance of a certificate of occupancy.

B. Planting Requirements

Minimum planting requirements have been established for the homebuilder and homeowner. Plans for the following shall be submitted for review and approval by the HARC.

1. Minimum Street Tree Requirements and Tree Maintenance

A street tree program has been established to create a canopy effect throughout the community with each neighborhood having a primary unifying tree. It is the responsibility of the homebuilder or homeowner to install street trees within their neighborhood or custom lot. Street trees shall be selected from the Recommended Plant Material List in Chapter 6.

1. Street trees shall be planted at an average ratio of one (1) tree per fifty feet (50') of lineal street frontage, or at least one (1) street tree per residential lot, whichever is the greater quantity. At least three (3) street trees shall be planted at each corner lot, one (1) tree in front of the lot and two (2) trees on the side. Location of street trees planted on corner lots shall take into consideration site distance lines.
2. When planted adjacent to open space areas street trees shall be planted at an average ratio of one (1) tree per fifty (50') feet of lineal street frontage.

3. Street trees shall be placed five feet (5') behind the back of the sidewalk or nine feet (9') behind the back of the curb where a sidewalk does not exist.
4. Street trees shall be a minimum of 24-inch (24") box for an average size lot and fifteen (15) gallons for smaller lots.
5. Street trees shall be planted in accordance with the City of Vallejo's "Street Tree Standards and Details."
6. Street trees are to be maintained by the homeowner. Street trees shall not be "topped".
7. All street trees regardless of size require approval by the HARC to trim or remove.
8. The removal of a street requires a replacement.

Any violation of rules 6–8 will result in an automatic fine by the HPOA.

2. Minimum Neighborhood Entry Requirements

Neighborhood entries shall be planted by the homebuilder to create a sense of arrival. The landscape shall consist of colorful trees, shrubs, and groundcovers with the quantity determined by the scale of the entry and the amount of the landscaped area. If more than one entry exists within a neighborhood, a consistent theme shall be established with the chosen plant materials. Plants shall be selected from the Recommended Plant Materials List within Chapter 6.

Minimum Tree Requirements

- a. Trees shall be a minimum twenty-four-inch (24") box in size. Homebuilders are encouraged to plant larger trees.
- b. Trees shall be selected to provide a variety of seasonal interests.
- c. Trees shall complement the architectural style and massing.

Minimum Shrub and Groundcover Requirements

- a. Shrubs shall be a minimum of five (5) gallons in size. Shrubs viewed as ground cover and perennials are allowed in one (1) gallon containers. Groundcovers planted from flats are not recommended. All specified sizes must comply with recognized standards for plant materials established by the AmericanHort.

3. Minimum Production Slopes and Common Area Requirements

Homebuilders shall landscape all production slopes and common areas that may occur within their neighborhood. Slopes shall be fully landscaped with trees, shrubs, and groundcovers selected for their ability to control erosion.

When locating trees and large shrubs, special consideration shall be given to maintaining view corridors. Plant materials shall be selected from the Recommended Plant List within Chapter 6. Drought-resistant and fire-resistant materials shall be used in all developed open-space areas.

Minimum Tree Requirements

- a. Thirty percent (30%) of the trees should be a minimum twenty-four-inch (24") box in size. Homebuilders are encouraged to plant larger trees.
- b. Trees shall be selected to provide a variety of seasonal interests and provide shade in the summer while allowing warmth in the winter. Trees shall complement the architectural style and massing.

Minimum Shrub and Groundcover Requirements

- a. Shrubs shall be a minimum of five (5) gallons in size.
- b. Shrubs viewed as ground cover and perennials shall be allowed in one (1) gallon containers.
- c. Groundcovers planted from flats are not recommended.
- d. All specified sizes shall comply with recognized standards for plant materials established by AmericanHort.

4. Minimum Landscape Requirements for Designated Lots with Steep Slopes

Homebuilders and homeowners are required to irrigate and landscape all steep slopes as designated by the City of Vallejo prior to final acceptance. The homebuilder shall refer to the City of Vallejo, for specific requirements pertaining to improvements of steep slopes. The City's Guidelines for landscape improvements to slopes includes the planting of trees, shrubs, and groundcovers to provide erosion control and to mitigate the effect of major exposed banks.

Minimum Tree Requirements

- a. One (1) tree selected from the recommended plant list shall be planted per four hundred (400) square feet of slope area. Thirty percent (30%) of trees shall be a minimum twenty-four-inch (24") box in size. Homebuilders and homeowners are encouraged to plant larger trees.
- b. Trees shall be placed to maximize views and create the appearance of nature.
- c. All trees shall be planted in pits that are at a depth equal to the size of the tree container and a width twice the size of the root ball. The backfill mix shall be appropriate to site conditions. Basins shall be created to maximize the amount of water retained at the root ball.

Minimum Shrub and Groundcover Requirements

- a. Thirty percent (30%) of shrub and groundcover planting shall be shrubs selected from the recommended plant list. Shrubs shall be spaced no further than eighty percent (80%) of mature width.
- b. The remainder of slope planting shall consist of ground covers with varying heights selected from the recommended plant list and shall be planted no further than forty-eight inches (48") on center based on recognized standards.
- c. Shrubs shall be a minimum of five (5) gallons in size.
- d. Shrubs viewed as groundcover and perennials are allowed from one (1) gallon containers.
- e. All specified sizes shall comply with recognized standards for plant materials established by AmericanHort.

5. Minimum Front Yard Requirements

Front yards are required to be landscaped by the homebuilder or homeowner and are subject to the review and approval of the HARC.

Minimum Tree Requirements

- a. One (1) tree selected from the recommended plant list shall be planted on the site per one thousand (1,000) square feet of lot area.

- b. Street trees may be included in the minimum tree requirement. Of the required trees thirty percent (30%) shall be a minimum twenty-four-inch (24") box in size.

Homebuilders and homeowners are encouraged to plant larger trees.

- a. All trees shall be planted in pits that are at a depth equal to the size of the tree container and a width twice the size of the root ball. The backfill mix shall be appropriate to site conditions.
- b. When selecting and placing trees, the homebuilder or homeowner shall take into consideration the mature height and width of trees and the views of neighbors and the community.

Minimum Shrub Requirements

- a. Shrubs shall be a minimum of five (5) gallons in size.
- b. Shrubs viewed as ground cover and perennials are allowed in one (1) gallon containers.
- c. All specified sizes shall comply with recognized standards for plant materials established by AmericanHort.

Minimum Slope Planting Requirements

- a. Planting and irrigation for slopes within lot lines shall be installed with an erosion control ground cover, trees, and shrubs to enhance and stabilize these areas.

6. Minimum Rear Yard Requirements

Rear yards are required to be landscaped by the homebuilder and homeowner and are subject to the review and approval of the HARC.

Minimum Tree Requirements

- a. One (1) tree selected from the approved plant list shall be planted on the site per one thousand (1,000) square feet of lot area.
- b. Street trees may be included in the minimum tree requirement. Of the required trees, thirty percent (30%) should be a minimum twenty-four-inch (24") box size.

All trees shall be planted in pits that are at a depth equal to the size of the tree container and

a width twice the size of the root ball. The backfill mix shall be appropriate to site conditions.

Minimum Shrub Requirements

- a. Shrubs shall be a minimum of five (5) gallons in size. Shrubs viewed as ground cover and perennials is allowed in one (1) gallon containers. All specified sizes shall comply with recognized standards for plant materials established by the AmericanHort.

Minimum Slope Planting Requirements

- a. Planting and irrigation for slopes within lot lines shall be installed with an erosion control ground cover, trees, and shrubs to enhance and stabilize these areas.

7. Golf Course Transition Zone

Each homebuilder or homeowner with a lot abutting the golf course will be required to include in their landscape plan an area in the rear of the lot for a golf course transition zone. This area shall be landscaped so that it promotes a harmonious transition between the golf course and the formal landscaping of the lot. Landscape plans for the golf course transition zone are subject to the review and approval of the HARC.

8. Fire Buffer Zone

A minimum of one hundred feet (100'), from the back of the house to open space, of fire-resistant landscaping or maintained grassland is recommended to be incorporated into lots that are adjacent to openspace.

9. Soil Amendments

As required by the City of Vallejo six inches (6") of topsoil shall be provided to each residential lot by each homebuilder prior to occupancy of the residential unit. The homebuilder shall provide an agricultural soil suitability test for topsoil (imported from outside the project or mixed on-site) to recommendations for amending the soil. The imported soil shall meet the City of Vallejo's specifications.

L-8 Irrigation

An irrigation system is required to establish and maintain landscape plantings at neighborhood entries, production slopes, common areas, and at each residential lot. All plantings shall have full coverage and automatic irrigation system(s) installed and maintained by the homeowner. The automatic irrigation system shall be designed in accordance with all local and state laws, rules, and regulations governing or relating to irrigation systems. In addition, irrigation equipment installed within the Landscape Maintenance Easement by a homebuilder shall be maintained by a homeowner.

The irrigation system for neighborhood entries, production slopes, common areas, and individual lots shall include and consider the following:

A. City Supplied Equipment

1. The City of Vallejo will provide a water meter and backflow prevention device for common areas upon payment of fees to the city by the homebuilder.

B. Backflow Protection

1. Irrigation connection to the domestic (potable) water supply to plantings shall include a shut-off valve and backflow prevention device that is approved by the City of Vallejo.
2. Backflow prevention assemblies shall be installed in accordance with local codes and screened from view as much as possible by landscape design features.

C. Pressure Regulation

1. Water pressure shall be regulated, if necessary, to efficiently operate the equipment installed by using one or more of the following methods:
 - a. Pressure regulating valve installed in irrigation main to regulate entire system pressure.
 - b. Pressure regulating remote control valves for required irrigation control zones.
 - c. Pressure-compensating sprinklers or emitter outlets.

D. Automatic Irrigation Controls

1. Automatic irrigation controllers shall be capable of at least two (2) separate programs with a least three (3) start times for each program.

Controllers shall be programmed to provide the minimum amount of water for healthy plant growth, and to use multiple start times for dividing up run times to allow water to penetrate the soil effectively to prevent run-off. Programming shall be adjusted regularly in response to seasonable conditions.

E. Isolation Valves

Isolation valves shall be placed strategically to confine and shut off flows to damaged mainline piping.

F. Remote Control Valves

Remote control valve zones shall be developed with consideration for similar plant water use requirements (e.g. lawn separated from shrub and ground cover zones), and similar irrigation equipment uses (e.g. spray sprinkler separated from rotary sprinkler zones; rotary zones and spray zones separated from drip zones).

G. Irrigation Methods

1. The landscape design shall, as much as possible, create "hydro-zones" (zones of plant material that have similar water requirements) which will be irrigated by a method of water application that is appropriate for healthy root establishment and plant growth.
2. Spray and rotary sprinklers may be used in turf, ground cover, and combination.
3. Ground cover or shrub hydro-zones where the uniform distribution of water over an entire hydro zone is appropriate.

H. Spray and rotary sprinklers shall use low-volume nozzles where possible and shall have matched precipitation rates within each control valve zone.

I. Spray and rotary sprinkler nozzle radius, trajectory, and arc shall be appropriate to avoid overspray onto hardscape, structures, and adjacent hydro-zones with different water requirements. They should be spaced to provide head-to-head coverage.

J. Spray and rotary sprinkler zones shall be controlled to apply water at an appropriate rate for infiltration into the soil and plant root zone and to avoid run-off or ponding.

K. Bubbler and drip emitters may be used in ground covers, shrubs, combination ground covers or shrubs, and tree hydro-zones where "point-of-emission" water application to planting within the hydro zone is appropriate.

- L. The gold medal. Bubbler and drip emitter zones shall be controlled to apply water at an appropriate rate for infiltration into the soil and plant root zone and to alleviate run-off or ponding.
- M. Check valves shall be utilized in sprinkler bodies and/or lateral piping where necessary to prevent low outlet drainage and erosion after each control zone completes its programmed operation cycle.

N. System Maintenance

1. All irrigation systems shall be monitored by the homebuilder or homeowner on a regular basis; not less than once every two weeks during peak season operation, and not less than once per month during off-season operation.
2. Maintenance monitoring shall include a valve-by-valve system observation sequence, with necessary adjustments or repairs noted and corrected. Seasonable programming adjustments shall be made at each monitoring session.

L-9 Hardscape and Paving (including Decks)

Hardscape refers to all components of a homesite other than the home itself, planted landscape areas and shade structures. All hardscape elements shall be carefully planned in conjunction with the site and landscape plan to work functionally and blend in aesthetically with the architecture and landscape design.

The following requirements shall be considered in the design of all proposed hardscape elements which shall be included as a part of the landscape plan design review package.

1. All paving and hardscape, including decks, shall blend with the architecture of the home. Recommended materials: stone, brick, exposed aggregate, stamped or colored concrete, interlocking pavers. A combination of these materials may be acceptable. Large areas of untextured or uncolored concrete and decomposed granite is prohibited.
2. Non-pervious (hardscape and paving) surfaces shall not cover more than fifty percent (50%) of the front yard and seventy percent (70%) of the back yard.
3. All hardscape and paving, including decks, shall be kept a minimum of three feet (3') from property lines.
4. Areas adjacent to driveways, patios, pool decks, and walks shall be planted according to the minimum planting requirements in Section L-7.
5. Any proposed deck shall have its structural support members concealed from view.

Use of masonry materials or dimensional wood siding is recommended to conceal the structural support members. Lattice screening alone is not acceptable. To avoid unsightly views from below, all wood decks shall be no higher than three feet (3') above finish grade. In no instance are decks allowed to encroach into the front yard.

L-10 Driveways and Private Roads

L – 10a. When a driveway takes on the size and character of a motor court, such as cluster homes and custom home sites, enhanced paving material is recommended. Paving materials shall be selected to complement the architecture and surrounding hardscape. Avoid large expanses of plain, un-patterned concrete.

Due to the expansive qualities of the on-site soils, control joints are recommended to be placed at a minimum of ten feet (10') on center in both directions.

L – 10 b. Driveways and private roads shall be built in compliance with the State of California Storm Water Run-Off Program. The use of decomposed granite for driveways and private roads is prohibited in Hiddenbrooke.

L -10 c. Driveway Cement Additions:

- 1. Two-car driveways can be expanded or extended subject to all of the following:**
 - i. The maximum total expansion is not to exceed eighty (80) square feet (width multiplied by length), and
 - ii. Width of expansion shall not exceed two (2) feet laterally on either side of the driveway.
 - iii. Length of expansion shall not exceed the length of the driveway (longitudinally).
 - iv. No more the thirty percent (30%) of available “green area” can be removed in front or side yards to accommodate driveway expansions.

- 2. Three-car driveways can be expanded or extended subject to all of the following:**
 - i. Maximum total expansion shall not exceed thirty (30) square feet (width multiplied by length).

- ii. The width of expansion shall not exceed two (2) feet wide laterally on either side of the driveway.
- iii. Length of expansion shall not exceed the length of the driveway, longitudinally on both sides.
- iv. No more the five percent (5%) of the available “green area” can be removed in the front or side yards to accommodate driveway expansions.

All driveway expansions are subject to the following:

1. Driveway expansions shall have the HARC approval, and any required City permits **before** work begins.
2. Driveway expansions shall match the existing hardscape (driveway) to appear as part of the original design. This can include new surfaces for both the existing driveway and expansion.
3. The expansion must be architecturally compatible and pleasing with the home and its surrounding, which may include adding more landscaping elements (bushes, plants, trees, etc.).
4. Subject to the 30%, and 5% restrictions above, expansions shall preserve existing landscaping, as approved by the HARC or new landscaping must be approved.
5. The City of Vallejo does not allow curb cuts. Vallejo City permits are required for drainage holes.
6. The expanded portion of the driveway is not permitted for parking more than the allowed number of cars on the driveway.

L-11 Pools and Spas

The location of pools, spas, and other water features shall address relationships between indoor and outdoor features, setbacks, wind, sun, and lot terrain. The size and shape of pools shall be carefully considered to achieve a feeling of compatibility with the surrounding natural and manmade elements. Pools, spas, water features, and associated equipment enclosures shall be architecturally related to the house and other structures in their placement, mass, and detail.

Pools and spas shall be kept a minimum of ten feet (10') from the side and rear property lines for custom home sites and five feet (5') for production homes. Toe measurement shall be taken from the property lines to the water line. Pools and spas shall not

encroach into the front yard. The front yard is defined as the area between the front elevation of the home and the curb.

Pool decks and equipment shall be kept a minimum of three feet (3') from the side and rear property lines and shall be properly housed or screened to prevent excessive noise and to minimize visibility from adjacent lots and the golf course.

Pools must be submitted to a licensed soil engineer for review and approval.

L-12 Arbors and Shade Structures

Proposed arbors and shade structures must be designed to blend in with the home site. Construction materials, color, and detailing should reflect the architectural style of the home.

Arbors (defined as a non-load bearing structure with a maximum width of ~~thirty inches~~; 30") shall not encroach onto or over the side or rear property lines.

Shade structures, which include trellises and gazebos, shall be set back a minimum of ten feet (10') from the side or rear property lines for custom home sites and five feet (5') for production homes. There shall not be any encroachment into the front yard.

The maximum height for an arbor or shade structure is ten feet (10'), as measured from the finish grade to the uppermost wood member edge.

Shade Feature

Shade features, such as sails, cloths, and netting shall meet the following criteria:

- a. They shall be attached to the house or another structure.
- b. They shall be a neutral color that complements the house.
- c. They shall not exceed two-hundred (200) square feet.
- d. The material shall be flexible, certified as fire-resistant, and resistant to UV light, specifically designed for outdoor shading.

Any free-standing shade structures or those larger than two-hundred (200) square feet require review and approval from the HARC.

L-13 Built-in Barbeques

Built-in barbeques shall be set back a minimum of five feet (5') from the side and rear property lines. Construction materials, color, and detailing shall reflect the architectural style of the home.

L-14 Trash Storage

Construction materials, color, and detailing of trash enclosures shall reflect the architectural styling of the home.

All trash storage areas for clustered or individual homes shall be located in appropriate areas screened and concealed from public view, including adjacent neighbors. Trash storage areas shall be located at least five feet (5') from the side and rear property lines and shall not encroach into the front yard.

L-15 Storage Sheds

All storage sheds must be compatible with the architectural styling of the home and surroundings and located in appropriate areas screened from public view, including adjacent neighbors. Screening may be provided through the use of landscaping (trees, shrubs, hedges) or other architectural features approved by the HARC. Storage sheds with a flat roof pitch are discouraged. Storage sheds shall not exceed a maximum height of ten feet (10') and shall be located no less than five feet (5') from the front, side, and rear fence lines. Storage sheds shall not encroach into the front yard.

L-16 Mailboxes

L – 16 a. New Mailboxes

The homebuilder or homeowner shall provide plans, elevations, materials, and specifications for mailbox designs. Mailbox locations shall be clearly indicated on the plan. The materials used to construct the mailbox shall complement the materials and style of the neighboring architecture.

If a mailbox is incorporated into a monument the height shall not exceed five feet (5') and the width two feet six inches (2'6"). The United States Postal Service (USPS) shall be consulted to determine the acceptable location and mounting height for the mailbox.

L – 16 b. Mailbox Replacement

Mailbox replacements shall be black or the same color as the original box, the same shape where possible, no larger the thirteen inches (13") wide by twenty three inches (23") long by twelve inches (12") high, and no smaller than six inches (6") wide, twenty (20") long, and ten feet (10') high. Mailboxes on the same post shall match. Locking mailboxes approved by the USPS are permitted in the allowable sizes and colors. **A HARC application must be submitted with the proposed different styles of mailboxes.**

L-17 Sport Courts and Basketball Standards (Backboards, Rims, et al.)

Sport courts such as those for basketball, tennis, pickleball or other court sports shall be located so they do not infringe upon view corridors. Sport courts shall be constructed so they do not constitute an intrusion upon the adjoining lot. Sports courts shall be naturally screened from adjacent lots and the golf course.

Sport courts must be approved by the HARC and conform to the following criteria:

1. Fencing shall blend naturally into the surrounding area and plant materials shall be placed where necessary to soften the visual impact.
2. A windscreen shall not exceed ten feet (10') in height and shall be either black or green.
3. Court surface colors are restricted to colors such as soft reds and greens. They shall not be highly reflective.
4. Night lighting of courts may be permitted if the light does not intrude onto adjacent lots.

Permanent basketball standards, backboards or rims (hoops) are not allowed on a house or any portion of a lot in the front yard. Portable basketball standards must be stored completely out of view when not being actively used for play. **Permanent basketball standards installed in the side or rear yard require approval by HARC.**

L-18 Landscape Lighting

Landscape lighting is encouraged and should be used to enhance the overall design concept of the home in an aesthetically pleasing manner. All landscape lighting, including pool lighting, must meet national, state and local codes and shall be subject to the approval by the HARC, and shall be of such controlled focus and intensity so as not to infringe upon adjacent lots. Glare shields may be required to eliminate bright spots and glare sources.

Landscape lighting shall utilize low voltage or similar type fixtures and shall be as close to grade as possible. All light conduits and fixtures shall be as inconspicuous as possible.

L-19 Decorative Rocks and Bark

If decorative rock or bark is desired, it shall be used to enhance the overall design concept in an aesthetically pleasing manner. Rocks and bark are only to be used as an accent feature of the landscape plan or an interim treatment to improve the aesthetics of a yard and are not acceptable in large expanses unless in the side or backyard which is not visible from the street.

Large expanses of bark and bare ground are prohibited. Sixty percent (60%) of the landscaped portion of a front yard shall be covered with green vegetation. Bark serves as a water conservation measure to maintain moisture in the soil around plants and shall not be considered a replacement for plants and lawns.

Over time homes that lose vegetation cover shall reinstall new plants and lawns rather than just adding more bark. The goal is to retain a natural landscaped area. The following rules apply:

- a. Natural wood-colored bark, shredded cedar, mulch, and decomposed granite are preferred while black bark is acceptable.
- b. As a fire prevention measure, it is recommended that bark should not be used within five feet (5') of the house or garage unless densely planted or treated. Fire retardant sprays are available as an added precaution.
- c. Ruby red bark, lava rock, and white rock are prohibited.
- d. Gravel, including pea gravel, may only be used in side and back yards—**never in the front yard.**
- e. Ginger rock and river rock may be used sparingly.
- f. Planters and decorative pots shall be used as an accent within an overall landscape plan and not as a prominent feature.

L-20 Antennas/Satellite Dishes/Solar Panels/Electric Car Chargers

1. Satellite dishes

Antennas and satellite dishes are subject to review by the HARC.

Every attempt shall be made to locate satellite dishes at the rear of the house or other location that minimizes visibility from the street and neighbor windows. Front-of-the-house installations are not allowed unless absolutely necessary to maintain signal. Conduits for electrical wires shall be concealed from view to the maximum extent possible. Conduits and wires visible from the street shall be painted to match the exterior color of the house or roof.

2. Solar panels

Solar panels are allowed in Hiddenbrooke subject to review by the HARC. All equipment supporting solar installations shall be located behind the fence or screened from visibility from the street. Conduits for electrical wires shall be concealed from view to the maximum extent possible. Conduits and wires visible from the street shall be painted to match the exterior color of the house or roof. A copy of the lease or Power

Purchase Agreement (PPA) should be included with the application, if applicable.

Applications are to be submitted to the HARC Chair who can review them without a full review by the entire Committee or an application fee. All conditions of approval must be followed.

3. Electric Vehicle (EV) chargers

A maximum of one (1) EV charging cable and connector is permitted per garage vehicle parking space. For example, a house with a two (2) car garage may feature up to two (2) EV charging cables and connectors in order to concurrently charge two (2) EVs. Chargers located out of sight in the garage shall not be subject to HARC review.

Chargers located outside should be obscured from public view and require a free HARC application. Please include a diagram of the charger placement and screening with your submission.

Please follow the submission requirements in Chapter 7.

L-21 Development on Slopes

No structure, planting, or other material shall be placed or permitted to remain, or other activities undertaken on slope banks which may damage or interfere with established slope ratios, create erosion or sliding problems, or which may change the direction of flow of drainage channels, if any, or obstruct or retard the flow of water through drainage channels if any.

L-22 Front Yard Maintenance and Maintenance of Mature Trees

The homeowner shall be responsible for all landscaping that falls within their ownership to be maintained in a clean, attractive, and well-kept condition and to promptly replace any dead or dying plant material.

Upon approval of the landscape plans by the HARC, the minimum tree requirement shall be maintained at all times and mature trees shall not be removed by a homebuilder or homeowner without prior HARC consent.

Designated fire buffer zones shall be maintained as required by the City of Vallejo.

Each homebuilder and homeowner shall maintain, water, plant, and replant all slope banks located on their lot to prevent erosion and to create an attractive appearance. Owners of lots with no plans for improvement in the immediate future shall be responsible for ongoing maintenance. Erosion control and removal of weeds, trash, and other debris regularly are required. Removed vegetation shall be removed from the site.

Any tree located in the front yard is considered a mature tree if it has a circumference of twenty inches (20”) or greater, measures twenty four inches (24”) above the ground.

Street trees and mature front yard trees shall not be topped or severely trimmed in a manner that will jeopardize the life or appearance of the tree. Topping is defined as the removal of the upper portion of a tree’s trunk and amputation of its main branches in a straight line leaving main branches with an exposed cut. This practice significantly alters the tree’s natural shape and increases its vulnerability to disease.

Mature trees in the front yard shall not be removed or replaced without the HARC's consent.

Mature trees in the front yard shall not be trimmed without the HARC's consent.

The HARC application for mature tree removal and trimming shall include a report from a licensed arborist or tree service.

Topping and trimming without the HARC approval is subject to fines by the HPOA.

The HARC has the discretion to determine if a tree trimming will be reviewed as a minor project without a fee or requires a full Committee review that requires an application fee.

Contact the HARC before commencing any work involving your front yard trees.

Tree Pruning:

Tree pruning, defined as removing dead or unhealthy branches, is an activity that is encouraged and does not require the HARC approval. The primary focus is dead, diseased, damaged, crossing branches, branches that rub or hang against the house, and low-hanging branches over the sidewalk under one inch in diameter.

L-23 Flagpoles

1. Free-standing metal flagpoles for one (1) flag are allowed subject to the HARC approval.
2. Common flagpoles that are attached to the house are allowed in Hiddenbrooke and do not require HARC approval.
3. Only one flagpole, either free-standing or attached, is allowed per lot.

L-24 Xeriscape (Drought tolerant landscaping)

Xeriscape plans are allowed for front and back yards in Hiddenbrooke. The HARC accepts applications to replace a lawn with xeriscaping provided the application meets the following criteria:

A. Preliminary HARC consultation *prior* to submitting an application.

Before finalizing a xeriscape plan, applicants shall schedule a preliminary, in-person review with the HARC as follows:

- I. Email the HARC to arrange for an in-person review of a proposed plan. This shall take place before submitting an application.
- II. Create a conceptual layout that includes the potential location of plants and other features listed below.
- III. The plan shall include elements besides bark and plants, such as groupings, paths using natural stone, ponds, fountains, benches, creeks, mounds, and boulders. Pots are not to be the main feature.
- IV. Topography or a variation in height is encouraged to add interest.

B. Final xeriscape plan

- I. Consult a professional landscape designer or local nursery that specializes in xeriscape or research various publications that include actual designs and layouts. Mediterranean and Alpine designs include types of plants found in Northern California. Avoid desert design. Cacti and palms are prohibited. Succulents are discouraged.
- II. Provide a plan drawn to scale that shows the actual location of each plant and landscape feature.
- III. Identify each plant by photos of the species, the size at the time of planting, and the size after twelve (12) months; e.g. five (5) gallons, four to six feet (4' – 6') wide and two feet (2') tall.
- IV. All new plants should be five (5) gallons in size or in groupings that equal five (5) gallons.
- V. The number and size of the plants will be such that fifty percent (50%) of the yard will be covered within twelve (12) months.

- VI. Provide samples of the ground cover. Natural redwood bark, bark chips, shredded bark, mulch, peat moss, or grass-like plants are the only ground cover allowed. River rock and boulders can only be used as accents or incorporated into the design.
- VII. Dry creek beds shall not be the focal point of the yard. They shall only be used when they are part of a natural drainage system.
- VIII. Applicants shall follow the current Guidelines regarding the color of rock, bark, and plants and submission requirements.
- IX. Final approval is subject to a inspection by the HARC six (6) months after completion.**
- X. Plans shall include an irrigation system. See Section L-8 Irrigation.
- XI. New plants require generous watering to promote growth.

C. Maintenance

- I. Xeriscape yards are subject to all the sections in the CC&Rs and Hiddenbrooke guidelines regarding maintenance and upkeep.
- II. Additional plants and ground cover may be required after twelve (12) months.
- III. Weeding and thinning of overgrown plants might also be necessary.

D. Rebates

Check with the city and county for rebate programs.

L-25 Artificial Turf or Lawn

Applications to install artificial in front and back yards are subject to the following:

The product must be of a very high quality that simulates real grass. A twelve by twelve inch (12" x 12") sample of the turf and the manufacturer's list of specifications shall be submitted along with the application and landscape plan.

The sample will be used to verify multiple colors, weights, piles, fabric, and drainage ability.

- 1. In-ground plants or shrubs shall make up forty percent (40%) of front yards.

2. Proof of a ten-year transferable warranty shall be submitted along with the application with a signed copy upon completion of the installation as a condition of approval.
3. Artificial turf is the responsibility of the homeowner and subject to all the regulations of the CC&Rs, regarding maintenance, repair, and replacement such as tears, holes, weeds, animal waste, and discoloration.
4. Installation: Artificial turf shall not be installed over the top of existing grass or concrete. Sod and dirt must be removed, and an aggregate base and soil stabilization fabric installed to allow for proper drainage in accordance with the manufacturer's specifications.
5. **Final approval is subject to an inspection by the HARC. The homebuilder or homeowner is to notify the HARC when the installation is complete.**

HARC will use its discretion when reviewing applications for small backyards, and special projects such as backyard putting greens.